



SPECIAL PERMIT FOR INCLUSIONARY ZONING INCENTIVES - APPLICATION

CITY OF WORCESTER PLANNING BOARD
455 Main Street, Room 404, Worcester, MA 01608
Phone 508-799-1400 ext. 31440 - Fax 508-799-1406

RECEIVED
WORCESTER CITY CLERK
2024 SEP 27 PM 2:53

1. Property Information

- a. 10 Grosvenor Street
Address(es) – please list all addresses the subject property is known by
- b. 05-014-0046A
Parcel ID or Map-Block-Lot (MBL) Number
- c. Worcester District Registry of Deeds, Book 69833 Page 270
Current Owner(s) Recorded Deed/Title Reference(s)
- d. RG-5 & BG-3.0
Zoning District and all Zoning Overlay Districts (if any)

The property is an approximately 9,283 square foot lot with an approximately 2,264 square foot multi-family residential building and vacant space.

- e. Describe what is presently located on the property (Use as much detail as possible including all uses and square footage of each use; attached separate narrative if necessary):
- f. The existing building was last used as a church.
If residential, describe how many bedrooms are existing and how many are proposed

2. Applicant Information

- a. Polar Views LLC
Name(s)
- b. 89 West Main Street, Unit 101, Northborough, MA 01532
Mailing Address(es)
- c. j.smith@bowditch.com, (508)-926-3464
Email and Phone Number(s)
- d. Optionee
Interest in Property (e.g., Lessee, Purchaser, etc.)

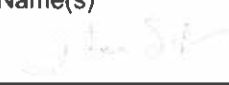
I certify that I am requesting the Worcester Planning Board to grant the Special Permit as described below

Polar Views LLC
By: [Signature] Daniel Yarnie, Its manager
(Signature)

3. Owner of Record Information (if different from Applicant)

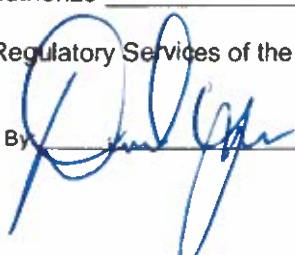
- a. Daniel Yarnie
Name(s)
- b. 89 West Main Street, Unit 101, Northborough, MA 01532
Mailing Address(es)
- d. jsmith@bowditch.com; (508)-926-3464
Email and Phone Number

4. Representative Information

- a. Joshua Lee Smith, Esq.
Name(s)
- b. 
Signature(s)
- c. Bowditch & Dewey, LLP, 311 Main Street, Worcester, MA 01608
Mailing Address(es)
- d. jsmith@bowditch.com; (508)-926-3464
Email and Phone Number
- e. Attorney
Relation to Project (Architect/Attorney/Engineer/Contractor, etc.)

5. Owner Authorization

Authorization I, Daniel Yarnie, Owner of Record of the property listed with the Assessing Division of the City of Worcester, Massachusetts as Map 05 Block 014 Lot(s) 0046A, do hereby authorize Joshua Lee Smith, Esq to file this application with the Division of Planning & Regulatory Services of the City of Worcester on this the 26 day of July, 2024.

By  Daniel Yarnie

6. Proposal (attach a separate narrative if necessary)

The applicant proposes to construct a 4-story approximately 19,052 square foot multi-family residential building with 12 units, 2 of which will be affordable (1 unit at 80% AMI, 1 unit at 60% AMI). The property will also contain 10 parking spaces and other related site

a. improvements.

The applicant seeks to (Describe what you want to do on the property in as much detail as possible)

b. Article IV, Section 2, Table 4.1(10) - Multifamily Dwelling, High Rise - Permitted by right.

Such a use is permitted only by the City of Worcester Zoning Ordinance under Article (Insert Article, Section (s) of the Zoning Ordinance which permits the proposed used of the property.

c. None

Are you aware if this property has been previously granted approvals from any City Board or Commission? If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions)

d. No.

Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g. a cease and desist order has been issued)?

e. Please see Statement in Support.

List any additional information relevant to the Special Permit (s)

SPECIAL PERMIT FINDINGS OF FACT

In the spaces below explain how the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations per Article II, Section 6(A)(2) of the Zoning Ordinance. (Attach additional supporting documentation as necessary.)

1. Social, economic or community needs that are served by the proposal:

Please see Statement in Support.

2. Traffic flow and safety, including access, parking and loading areas:

Please see Statement in Support.

3. Adequacy of utilities and other public services:

Please see Statement in Support.

4. Neighborhood character and social structure:

Please see Statement in Support.

5. Impacts on the natural environment:

Please see Statement in Support.

6. Potential fiscal impact, including city services needed, tax base, and employment:

Please see Statement in Support.

SUPPLEMENTARY QUESTIONS FOR SPECIAL PERMIT

Complete the requested information for the Special Permit requested. Attach additional documentation as necessary.

Developments must include at least five percent (5%) of the units for the overall project with income restrictions at the sixty percent (60%) AMI limit to be eligible to apply (Article VII, Section 6A)

- 1. Total proposed units: 12

- 2. Percentage of units proposed for households earning 60% or less AMI: 8.3% (1 out of 12)

**Off-Street Parking and Loading Incentives
(Article VII, Section 6A. ii. b.)**

- 1. Describe what relief is being sought under the Special Permit (loading requirements, parking dimensional requirements, landscaping requirements, layout requirements, number of required parking spaces, etc.). If known, indicate the standard requirements as they would apply to the project and then indicate what is being proposed instead:

Applicant is seeking a special permit pursuant to Article VII, Section 6 A.ii.c for a reduction in the base parking requirement up to 50%. Table 4.4 requires 2 parking spaces per multifamily dwelling unit. Applicant is proposing 12 dwelling units and is providing 10 parking spaces, where 24 parking spaces is normally required. The special permit for a 50% reduction reduces the requirement to 12 parking spaces, so the Applicant has sought a variance for the additional 2 spaces from the Zoning Board of Appeals.

- 2. If applicable, indicate locations, square footages, and dimensions of relief sought under the Special Permit:

N/A


- 3. If applicable, provide number of parking/loading spaces required and relief requested through the Special Permit (the total reduction in parking shall not exceed fifty percent (50%) and may not be combined with reductions permitted in Article IV, Section 7, A. 2.):

Applicant is proposing 12 dwelling units and is providing 10 parking spaces, where 24 parking spaces is normally required. The special permit for a 50% reduction reduces the requirement to 12 parking spaces, so the Applicant has sought a variance for the additional 2 spaces from the Zoning Board of Appeals.

TAX CERTIFICATION

This certification must be completed by all applicants and owners of the property, certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a completed certification shall result in the application being deemed incomplete.

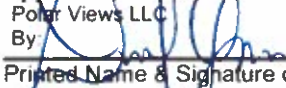
If a Single Owner or Proprietorship:

- a. Daniel Yarnie
Name
- b. 
Signature certifying payment of all municipal charges
- c. 89 West Main Street, Unit 101, Northborough, MA 01532
Mailing Address
- d. jsmith@bowditch.com, (508)-926-3464
Email and Phone Number

If a Partnership or Multiple Owners:

- e. _____
Names
- f. _____
Signatures certifying payment of all municipal charges
- g. _____
Mailing Address
- h. _____
Email and Phone Number

Applicant, if different from owner:

- i. Polar Views LLC
By  Daniel Yarnie, Its Manager
Printed Name & Signature of Applicant, certifying payment of all municipal charges

If a Corporation or Trust:

- j. _____
Full Legal Name
- k. _____ Principal Place of Business
State of Incorporation
- l. _____
Mailing Address or Place of Business in Massachusetts
- m. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- n. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- o. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- p. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges

**Statement in Support and Project Impact Statement of
Polar Views LLC’s Application to City of Worcester Planning Board for Site Plan
Review Approval and Special Permits for Inclusionary Zoning Incentives for
Mixed-Use Eligible Development Project at 10 Grosvenor Street, Worcester, Massachusetts**

I. Background and Project Scope.

Polar Views LLC (“Polar Views”) is proposing to develop the property known and numbered as 10 Grosvenor Street, Worcester, Massachusetts,¹ which currently contains approximately 9,283 square feet of land with an approximately 2,264 square foot former church building located at the corners of Lamartine Street and Grosvenor Street (the “Property”).

The Property is split-zoned, being located within the Business, General 3.0 (“BG-3.0”) zoning district and the Residence, General 5 (“RG-5”), and is bounded by Lamartine Street to the north, Grosvenor Street to the east, the Worcester Inspectional Services Department building and residential properties to the south, and vacant properties and a parking area to the west.

Polar Views is seeking site plan review approval and special permits for inclusionary zoning incentives from the City of Worcester Planning Board (the “Board”), as more particularly described herein, in connection with the razing and removal of the existing building and construction and development of a 4-story approximately 19,052 square foot multifamily Eligible Development building (the “New Building”) with 12 units, 2 of which will be affordable rate units (i.e., 1 unit at 80% AMI, 1 unit at 60% AMI), and will contain 10 parking spaces and other related site improvements (the “Project”). The Project also includes the construction and/or installation of related site improvements at the Property, including, but not limited to, new sidewalks and walkways (i.e., existing sidewalks will be replaced and/or repaired as needed, new walkways will be provided on-locus to provide access to entry doors), curb cuts (along Lamartine Street and Grosvenor Street), landscaped open spaces and amenity areas (e.g., grab & go lounge, community room, solarium and roof deck), electric vehicle (EV) charging stations,² interior bicycle storage areas³ and other site features. The New Building will be located entirely within the RG-5 zoning district.

¹ 10 Grosvenor Street has a parcel identification of 05-014-0046A.

² 2 EV “ready” charging (i.e., conduit run) spaces will be designated for future electric vehicle parking.

³ A secure interior bicycle storage room will be provided that will accommodate 16 bikes.

II. Requirements for Site Plan Review Approval and Special Permits for Inclusionary Zoning Incentives.

The development of 5 or more dwelling units requires site plan review approval by the Board pursuant to Table 5.1 of Article V of the Zoning Ordinance. The New Building will contain 12 dwelling units, and, therefore, the Project requires site plan review approval by the Board.

Article IV, Section 7, Table 4.4 requires 2 parking spaces per dwelling unit. The Project will provide 12 dwelling units, requiring 24 parking spaces as a baseline requirement. However, Article VII, Section 6.A.i of the Zoning Ordinance provides that “Eligible Developments”⁴ are entitled to an increase in the maximum number of units permitted in the zoning district of an additional percentage equal to the percentage of affordable units plus five percent (5%) up to a maximum 15% in the RG-5. Further, Article VII, Section 6.A.ii.a entitle Eligible Developments to an additional “twenty-five percent (25%) bonus from the minimum parking requirements of this Ordinance provided that the applicant submits a Transportation Management Program (TMP) to the Planning Board and the TMP is maintained in accordance with any conditions imposed by the Planning Board, as a requirement of any Definitive Site Plan Approval”. With the 15% RG-5 entitlement the parking requirement is reduced to 21 parking spaces, and with the 25% reduction afforded to Eligible Developments, the parking requirement is further reduced to 16 parking spaces. Polar Views is applying for an Eligible Development special permit under Article VII, Section 6.A.ii.c for up to a 50% reduction of the 24-space baseline requirement which, if granted, would result in 12 parking spaces being required for the Project. Based on the foregoing and the 10 parking spaces proposed, the Project requires 6 parking spaces of relief, which Polar Views is requesting by virtue of the grant of a (i) special permit by the Planning Board for 4 parking spaces;⁵ and (ii) variance by the Zoning Board of Appeals for 2 parking spaces.

Polar Views is also seeking certain waivers as specified herein. The Project will also require the submission of applications to the Worcester Zoning Board of Appeals for variances for noncompliance with minimum frontage, lot area and front and side yard setbacks, and a special permit for modification of landscaping and loading requirements.

III. Reasons for Definitive Site Plan Review Approval and Special Permits for Inclusionary Zoning Incentives.

⁴ An Eligible Development is defined in the Zoning Ordinance as “developments that include at least five percent (5%) of the units for the overall project with income restrictions at the sixty percent (60%) AMI limit.” The Project will have at least 5% of the units for the overall project with income restrictions at the 60% AMI limit, and, therefore, constitutes an Eligible Development.

⁵ This is in addition to the other 8 parking spaces of relief (3 by virtue of the 15% density bonus and 5 by virtue of the 25% bonus, totaling 12 parking spaces, which is the maximum 50% of the 24-space baseline requirement).

The Project satisfies the site plan review standards and special permit criteria as set forth in Article V, Section 5.B, Article II, Section 6.A.2 and Article VII, Section 6.A.ii.b of the Zoning Ordinance for the reasons stated herein:

1. Adequacy and arrangement of vehicular traffic access and circulation including intersections, road widths, pavement surfaces, dividers and traffic controls; Traffic flow and safety, including access, parking and loading areas (special permit criteria); Adequacy and arrangement of pedestrian traffic access and circulation, walkway structures, control of intersections with vehicular traffic and overall pedestrian convenience.

The proposed curb cuts and off-street parking will provide a safe, adequate and efficient layout and design for vehicular and pedestrian traffic, and propose suitable alignment with property lines, buildings, parking, access and walkways. The building design was developed such that the resident parking will be in close proximity to the lobby entrances of the New Building. The proposed parking and loading areas, drive aisles, curb cuts and building entrances will not cause any nuisance or hazard to vehicles or pedestrians within or off the Property, or line of sight hazards along nearby streets. The proposed drive aisles within the parking areas will provide sufficient widths and turning radii necessary for safe and efficient passenger vehicle travel.

As discussed below, the proposed parking will adequately serve the occupants of the New Building and will not have a material negative impact on the neighborhood with respect to parking. The proposed parking layout provides adequate ingress and egress to the parking areas by means of clearly defined access driveways, to provide the most safe, effective and efficient flow to and from the Property.

Emergency vehicles will be able to access the Property from the curb cuts along Grosvenor Street and Lamartine Street, or by parking on the adjoining streets. Safe, convenient and efficient pedestrian access to the New Building will be provided along accessible walkways and sidewalks. Loading will occur in close proximity to the New Building, and trash pick-up will occur next to the New Building. The proposed loading area will be in close proximity to the New Building and a safe distance from electric utility equipment and pedestrian walkways.

Proximity of the Project to public transit services (e.g., WRTA bus, MBTA commuter rail and Amtrak) and interior and exterior bicycle accommodations are expected to promote less reliance on automobiles as compared to other residential developments in the City in less transit-friendly locations. The Project will not result in a substantial increase in trip generation levels to and from the Property, and the minor traffic generated and patterns of access and egress will not cause congestion, hazard or a substantial change to the neighborhood character.

2. Location, arrangement, appearance and sufficiency of off-street parking and loading.

Table 4.4 of Article IV of the Zoning Ordinance provides minimum parking requirements for properties in the RG-5 zoning district based on use. Multifamily use requires 2 spaces per dwelling unit. However, Article VII, Section 6.A.ii.a of the Zoning Ordinance provides that Eligible Developments are entitled to an automatic 25% reduction from minimum parking requirements provided that a Transportation Management Program (TMP) is submitted to the Board.

As discussed above, based on the proposed 12 residential units and applying both the 15% density bonus and the 25% parking reduction entitlement under Article VII, the Project requires a minimum of 16 off-street parking spaces. The 50% special permit further reduces the requirement to 12 parking spaces. A total of 10 parking spaces are provided for the Project. The proposed parking space to unit ratio for the Project of 0.83, which ratio is high as compared to many other large-scale multifamily projects that have been approved in the area.

The proposed parking will adequately serve the occupants of the New Building, and will not have a material negative impact on the neighborhood with respect to on- or off-street parking. There will continue to be ample on-street parking on surrounding streets. The neighborhood is transit-oriented in nature (i.e., WRTA bus stations), and facilities at the Property will accommodate alternate means of transportation (e.g., bicycle storage). There exist amenities in close proximity to the Property and there is a nearby downtown employer hub.

The majority of the proposed parking spaces will be enclosed within the New Building, and are designed to reduce the amount of at-grade land devoted to parking and utilize parking areas more efficiently, which results in a more urban look and feel by not overwhelming the Property with surface parking. Less parking on the surface level allows for more areas that can be devoted to affordable units, open space, amenities and commercial space.

As noted above, the loading area will allow delivery and garbage trucks to safely enter the site.

3. Location, arrangement, size, design and general site compatibility of buildings, lighting and signs; Social, economic or community needs that are served by the proposal (special permit criteria); Neighborhood character and social structure; buildings, noise, glare (special permit criteria); Potential fiscal impact, including city services needed, tax base, and employment (special permit criteria).

The Project will dramatically enhance and improve the surrounding area and will improve the safety, efficiency, aesthetic appeal, design and quality of the site, which was underutilized as a former church and contains limited natural terrain features.

The kind, size, height and nature of the New Building and the proposed site improvements for the Project are consistent with buildings in this neighborhood (including, but not limited to, the size and height of the City's ISD building) in and around Polar Park and other neighborhoods within the City that have been developed for high rise multifamily use. The building façades will incorporate a contemporary approach with dynamic but efficient massing. Variations in exterior wall material depth and detailing will provide a rich texture and variation to the building exterior, bringing in natural tones. The New Building will provide other architecturally appealing features and massing and changing façade heights. The New Building will be accessible, with modern finishes, energy efficient appliances, state-of-the-art HVAC systems and large windows that will make the units comfortable, safe and reflective of modern design standards. The walkways, open spaces, balconies and roof deck will help activate outdoor common and recreational areas and improve connections within the site and surrounding areas. Except as otherwise provided herein, the New Building will comply with dimensional requirements as set forth in the Zoning Ordinance, including height and floor-to-area ratio.

The Project is functionally and aesthetically compatible with the surrounding municipal, commercial and residential properties in the neighborhood, which include a mix of City department, single, 2- and 3-family, multifamily, business and commercial uses. The Property was most recently occupied with underutilized religious use, and the proposed New Building and improvements to the site will have no greater impact on, adversely affect or be detrimental to adjoining premises or zones or the neighborhood. Based on the foregoing, the New Building and improvements to the Property in connection therewith will fit into the present character of the neighborhood, and granting this approval will promote an appropriate use of the site.

The Project use will not result in any increase in noise levels that would be noticeable at any abutting properties. The Project will neither create a nuisance, hazard, congestion or concerns pertaining to health, safety or general welfare, and there will not be substantial harm to the neighborhood or derogation from the intent of the Zoning Ordinance as a result of the Project.

Proposed new lighting will be modern in design, and will not have a deleterious effect on or cause a nuisance to neighboring properties or abutting streets. The proposed outdoor lighting will be adequate for safe and secure access to and from the New Building, walkways, sidewalks and the loading area. The proposed lighting will be arranged and have directional shields so as to minimize light from shining onto abutting properties and streets. Any new identification signage will be provided in compliance with the Zoning Ordinance.

The Project will improve the economic vitality of the neighborhood and surrounding areas by increasing the number of residents in the area who will patronize local businesses and economic centers in and around the neighborhood. The Project will create new construction jobs, sustain post-construction jobs, and will generate additional tax revenues and fees for the City.

4. Adequacy of stormwater and drainage facilities; Adequacy of utilities, water supply and sewerage disposal facilities and other public services (special permit criteria).

The development does not anticipate any adverse effect on drainage patterns. The best management practices for stormwater are incorporated in the design of the Project, and will be adequate to manage stormwater runoff generated by the Project and to satisfy the requirements of the Zoning Ordinance, the Worcester Department of Public Works and Massachusetts Stormwater standards. Stormwater runoff collected on-site will be directed away from the New Building and discharged to the City's existing drainage system in Lamartine Street and Grosvenor Street via an underground connection. Deep-sump hooded catch basins and an isolator row within the subsurface infiltration system will provide 80% TSS removal for runoff from the access driveway and surface parking area. The majority of stormwater will be developed by the proposed roof top which is directly discharged into the subsurface infiltration basin. Post-development peak runoff rates will be mitigated by this subsurface infiltration basin.

New water and sewer connections, gas and electric service facilities and infrastructure will need to be provided for the New Building and the Project. However, such utility lines and infrastructure currently exist within Lamartine Street and Grosvenor Street and are readily available to be connected to any new utilities that are necessary for the Project.

5. Adequacy, type and arrangement of trees, shrubs and other landscaping elements in accordance with the Landscaping Design Standards set forth in Article V, Section 5(C); Adequacy of useable common property or open space.

The Project proposes to provide enhanced open space by way of landscape buffers that will contain a variety of aesthetically appealing and native trees, shrubs and other plantings not currently provided at the site. The landscape buffers will comply with the Zoning Ordinance, and will serve as a visual buffer between the site and adjoining properties and streets. All new trees will be Asian Long-Horned Beetle and Emerald Ash Borer compliant. Other open space amenity areas (e.g., grab & go lounge, community room, solarium and roof deck will also be provided throughout the site. The Project proposes to create ample common areas and open space amenity areas at the site as described herein that can be used by residents for outdoor leisure and/or passive recreation.

6. Protection of adjacent or neighboring properties against noise, glare, unsightliness or other objectionable features.

The Project use will not result in any increase in noise levels that would be noticeable at any abutting properties. The Project will neither create a nuisance, hazard, congestion or concerns pertaining to health, safety or general welfare, and there will not be substantial harm to the neighborhood or derogation from the intent of the Zoning Ordinance as a result of the Project.

The proposed lighting will be dark-sky compliant, will not exceed a color temperature of 3,000K, will be appropriately arranged with directional shields so as to minimize light from shining and/or spilling onto abutting properties and streets while maintaining pedestrian and vehicular safety, and will not have a deleterious effect on neighboring properties. Site lighting is designed to meet IESNA (Illuminating Engineering Society of North America) guidelines for security minimums within parking and pedestrian areas.

Trash receptacles will be stored within the ground floor and brought out to the loading/trash pick-up zone only on days scheduled for trash pick-up.

7. Adequacy of fire lanes and other emergency zones and the provisions of fire hydrants.

There is no special emergency zone noted on the plans. However, fire trucks and other emergency vehicles will be able to access the Property by parking within the access driveways on site and/or on multiple streets surrounding the site in close proximity to the New Building. The New Building will be serviced by existing municipal fire hydrants located within the sidewalk on Lamartine Street as well as one new hydrant along Lamartine Street. The New Building will utilize a fire suppression system with a direct connection to the water service main within Grosvenor Street. There is one new hydrant proposed as part of the new development.

8. Special attention to the adequacy of structures, roadways and landscaping in areas with susceptibility to ponding, flooding and/or erosion; Adequacy of erosion and sedimentation control measures to be utilized during and after construction; Impacts on the natural environment (special permit criteria).

There are no natural terrain features at the Property, and the Project will minimize, to the extent practicable, changes to the natural terrain as a result of the Project. The proposed drainage and site design layout of the Project improvements are designed to reduce any susceptibility of ponding, flooding and erosion. The Property is outside of the Floodplain and Water Resources

Protection Overlay Districts and ecologically sensitive areas, and there are no wetland resource areas on the Property. There will not be any negative impacts on the groundwater. During construction, appropriate measures will be taken for controlling erosion, sedimentation and pollution as set forth in the plans submitted. The premises will remain maintained upon completion of the construction phase.

9. Conformance of the site design with the purposes and intent of the Worcester Zoning Ordinance.

The Project complies with the design requirements of Article V, Section 5.B, Article IV, Section 7.A.3 and other applicable provisions of the Zoning Ordinance by providing sufficient off-street parking spaces necessary to accommodate the residents and occupants of the New Building. The proposed drive aisles within the parking area will provide sufficient widths and turning radii necessary to provide for safe and efficient travel for passenger vehicles. The proposed parking, walkways and landscaping-related improvements are arranged for safe and convenient access for motorists and pedestrians. Proposed new lighting will be modern in design, and will not have a deleterious effect on or cause a nuisance to neighboring properties or abutting streets. The Project will dramatically improve the aesthetic appeal, design and quality of the Property, which is highly visible to the public. The Project will improve the economic vitality of the neighborhood and surrounding areas by increasing the number of residents in the area who will patronize local businesses and economic centers in and around the neighborhood. The Project will create new construction jobs, sustain post construction jobs, and will generate additional tax revenues and fees for the City.

The Project is in conformance with the purposes and intent of the Zoning Ordinance as it will provide much-needed and in-demand affordable housing (including 8.3% of units at 60% AMI) to support the City's critical housing stock, which will promote the economic vitality of the neighborhood and the City. The Project is a development of a compatible land use that provides urban densities, is a redevelopment of a corner lot site that is highly underutilized, offers a design that provides an aesthetically pleasing environment for pedestrians that is accessible, compact, safe and inviting. The Project promotes compact, environmentally-responsible (e.g., EV charging stations, interior bicycle storage and other eco-friendly features), pedestrian friendly development that is physically and functionally integrated through site design and avoids over-dedication of land devoted to surface parking. Moreover, the Project will encourage the most appropriate use of the land in a manner that promotes economic development, general welfare, safety and the creation of housing of such type, size and cost suitable for meeting the current and future needs of the City. The Project protects natural resources as well as the architectural, scenic and aesthetic qualities of the community and protects against the uses of land which are incompatible with nearby uses, undue intensity of noise and danger and congestion in travel and transportation.

10. Conformance and compatibility of the site plan design with structures listed in the most recent State Register of Historic Places.

There are no existing structures at the Property nor is the Property listed on the National Register of Historic Places or the Massachusetts Cultural Resource Information System (MACRIS) database. The Project will continue to enhance the existing aesthetics and character of the neighborhood, and the Property, including the New Building, will be compatible with other historic and non-historic structures in the neighborhood.

11. Adequacy and impact on the regional transportation system.

The Project will not materially impact the regional transportation system as the neighborhood is transit-oriented nature (i.e., WRTA bus stations within walking distance will accommodate alternate means of transportation (e.g., bicycle storage, etc.). There exist amenities in close proximity to the site and there is a nearby access to the downtown employer hub. The Project will promote the bike- and walk-ability of the neighborhood as it will include indoor bicycle storage areas and there will be safer and more convenient access to the surrounding neighborhood.

12. Adequacy of plans and protective measures to ensure minimal risk of contamination to surface or groundwater.

The Property is outside of the Floodplain and Water Resources Protection Overlay Districts and ecologically sensitive areas, and there are no surface waters or wetland resource areas on the Property. The site is not located within the City of Worcester Combined Sewer System Area or the Commercial Area Revitalization District (CARD). A Notice of Intent Application will be submitted to the Worcester Conservation Commission under the Local Ordinance for work within 100 feet of a catch basin. There will be no storage of hazardous materials or substances at the Property. Based on the foregoing, plans and protective measures under the Project will ensure minimal risk of contamination to surface or groundwater.

IV. Waivers and Other Zoning Relief.

Polar Views seeks the following waivers and other zoning relief, to the extent applicable:

1. Plan requirement to show abutters within 300 feet of the Property; and
2. All other waivers and zoning relief that may be required.

**City of Worcester
Department of Inspectional Services
Zoning Determination Form**

To obtain a building permit, you are required to file the following Board application(s):

Property Address:

10 Grosvenor Street
Parcel ID: 05-014-0046A

Zoning District: RG-5 & BG-3.0

Planning Board (Indicate all that apply)

Site Plan (circle all that apply):

- Preliminary _____ Definitive _____
- Trigger(s) ¹: (circle all that apply) _____
- 15% Slope _____ Lodging _____ Historical _____
- WRP _____ # of Units _____ GFA _____
- Subdivision _____ Flood Plain _____
- Special Permit related _____

Parking Plan:

of Spaces _____

Special Permits (circle all that apply)¹

- AROD _____ FPOD _____ CCRC _____
- WRP _____ MU _____ Cluster _____ CCOD _____
- Common Drive _____ AHDB _____ AOD _____

Other Filings (either Board)

- Amendment** _____
- Administrative Appeal**
- Extension of Time**
- Comprehensive Permit**
- Other** _____

Zoning Board of Appeals (Indicate all that apply)

Variance(s) (Indicate relief needed for all that apply)

Dimension	Requirement	Provided	Relief Requested
Gross Area (SF)	11,262.5	9,283+/-	1,979.5+/-
Frontage (ft.)	96	81.4+/-	14.6+/-
Setback (ft.)	Front	7.67	1.3+/-
	Side	10	2.7+/-
	Exterior Side	10	1.1+/-
	Rear		
Height (ft.)			
Floor to Area Ratio			

Parking (spaces)			
	12	10	2
Landscaping			
Other			

Applicable Section of Zoning Ordinance

Article: V; IV; V; II
Section: 2; 7.A.2; 5.C; 6.A.3
Paragraph: Table 5.1;

Special Permit (circle all that apply):

- Expansion/Change of pre-existing nonconforming Structure _____ Use _____
- Non-Residential/Residential Conversion _____
- Other Special Permit _____
Modification of parking area landscaping requirements

Department of Inspectional Services
Authorized Signature Required TM DJH DC

Todd Miller

¹ AOD= Arts Overlay District, AHDB=Affordable Housing, AROD=Adaptive Reuse Overlay District, CCRC=Continuing Care Retirement Community, FPOD = Flexible Parking, FP Flood Plain, MU= Mixed Use WRP=Water Resources Protection.

Site Plans

Issued for Local Approvals
 Date Issued July 11, 2024
 Latest Issue August 30, 2024

Multifamily Development

10 Grosvenor Street
 Worcester, MA

Owner / Applicant

Polar Views, LLC
 89 West Main Street
 Unit 101
 Northborough, MA 01590

Assessor's Map-Block-Lot: 05-014-0046A



120 Front Street
 Suite 500
 Worcester, MA 01608
 508.755.7003

Architect
 Maugel Destelano
 Architects
 200 Ayer Road, Suite 200
 Haverd, MA 018451
 978.456.2884

Surveyor
 Geo Network Land Survey
 645 Chandler St
 Worcester, MA 01602
 508.755.7003

Sheet Index

No.	Drawing Title	Latest Issue
C1.01	Legend and General Notes	August 30, 2024
C2.01	Site Plan	August 30, 2024
C3.01	Site Details	August 30, 2024
C3.02	Site Details	August 30, 2024
L1.01	Planning Plan and Details	August 30, 2024

Reference Drawings

No.	Drawing Title	Latest Issue
L-1	Existing Conditions Plan of Land	February 24, 2024
	10 Grosvenor Site - Photometric Calculation	August 30, 2024
	Architectural Perspectives	August 30, 2024
	Architectural Sun Study	August 30, 2024
	Architectural Floor Plans	August 30, 2024
	Architectural Elevations	August 30, 2024





Legend

Table with 2 columns: Event, Propg. Contains various symbols and their corresponding event/propagation codes.

Abbreviations

Table with 2 columns: Abbreviation, Description. Lists common abbreviations used in the document.

Notes

- General
1. All drawings shall be prepared in accordance with the following...
2. All drawings shall be prepared in accordance with the following...
3. All drawings shall be prepared in accordance with the following...

Legal and Regulatory

- 1. All drawings shall be prepared in accordance with the following...
2. All drawings shall be prepared in accordance with the following...
3. All drawings shall be prepared in accordance with the following...

Demolition

- 1. All drawings shall be prepared in accordance with the following...
2. All drawings shall be prepared in accordance with the following...
3. All drawings shall be prepared in accordance with the following...

Engineering

- 1. All drawings shall be prepared in accordance with the following...
2. All drawings shall be prepared in accordance with the following...
3. All drawings shall be prepared in accordance with the following...

Permitting

- 1. All drawings shall be prepared in accordance with the following...
2. All drawings shall be prepared in accordance with the following...
3. All drawings shall be prepared in accordance with the following...

Multifamily Development
10 Groveview Street
Worcester, MA

Table with 2 columns: Agency, Date. Lists agencies and dates for the project.

Not Approved for Construction
Legend and General Notes

C1.01
Scale: 1/8" = 1'-0"
Date: July 11, 2024
City of Worcester seal and signature.

Sign Summary

MUTCD Number	Specification	Height	Desc
81.1	STOP	36"	STOP SIGN
82.1	AWAY FROM ME	36"	AWAY FROM ME SIGN
82.2	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.3	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.4	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.5	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.6	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.7	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.8	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.9	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.10	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.11	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.12	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.13	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.14	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.15	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN
82.16	STOP HERE ON RED LIGHT	36"	STOP HERE ON RED LIGHT SIGN

Zoning Summary Chart

Planning District	Regulation	General (RC-5)	Special (RC-3)
001	General (RC-5)	General (RC-5)	Special (RC-3)
002	General (RC-5)	General (RC-5)	Special (RC-3)
003	General (RC-5)	General (RC-5)	Special (RC-3)

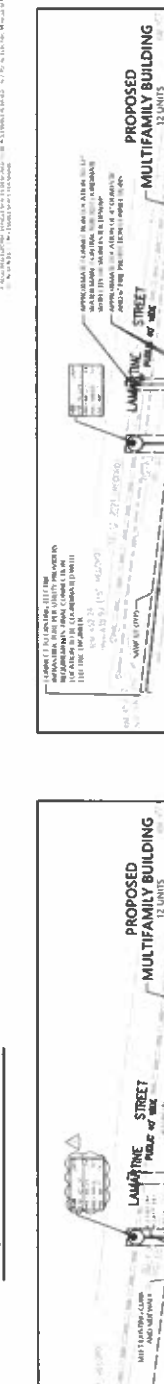
Parking Summary Chart

Description	Required	Provided	Existing	Required	Provided
Residential	1.5	1.5	1.5	1.5	1.5
Commercial	2.0	2.0	2.0	2.0	2.0
Industrial	2.5	2.5	2.5	2.5	2.5
Public	3.0	3.0	3.0	3.0	3.0

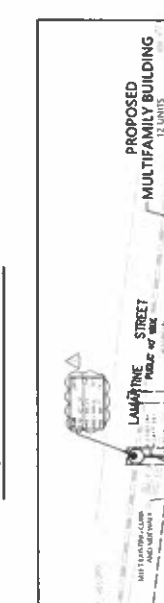
Notes

- Note 1: All parking spaces must be 8 feet wide and 18 feet deep.
- Note 2: All parking spaces must have a 5-foot access aisle.
- Note 3: All parking spaces must be paved.
- Note 4: All parking spaces must be well-drained.
- Note 5: All parking spaces must be clearly marked.
- Note 6: All parking spaces must be well-lit.
- Note 7: All parking spaces must be well-ventilated.
- Note 8: All parking spaces must be well-secured.
- Note 9: All parking spaces must be well-maintained.
- Note 10: All parking spaces must be well-monitored.

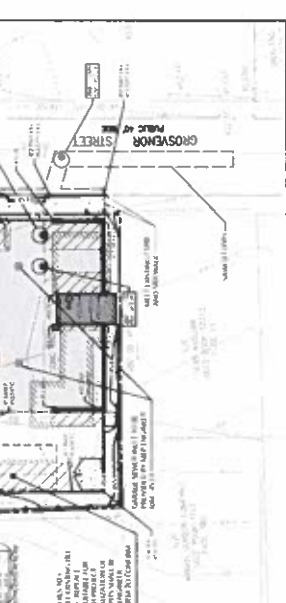
Utility Plan



Layout and Materials Plan

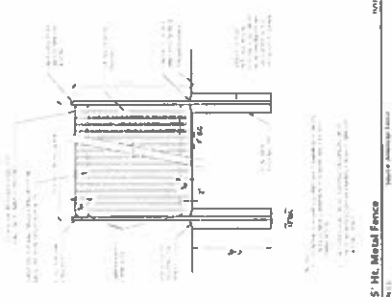


Grading, Drainage, and Erosion Control Plan

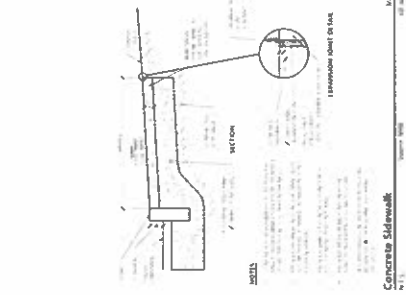


Multifamily Development
10 Grosvenor Street
Worcester, MA
Local Approvals
Not Approved for Construction
Site Plan

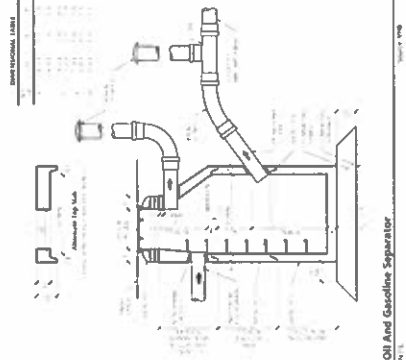




Concrete Thrust Block



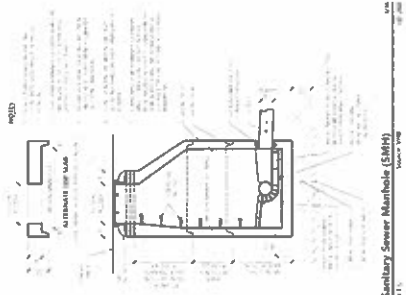
Concrete Slatwalk



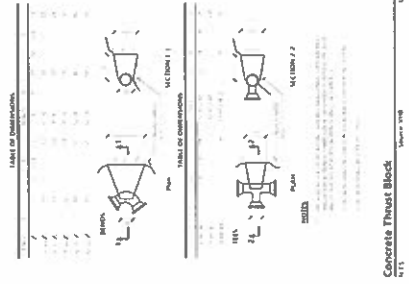
Oil And Gasoline Separator



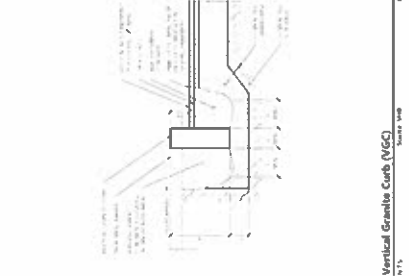
Sanitary Sewer Manhole (SIWH)



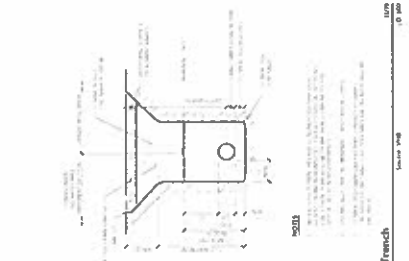
Sanitary Sewer Manhole (SIWH)



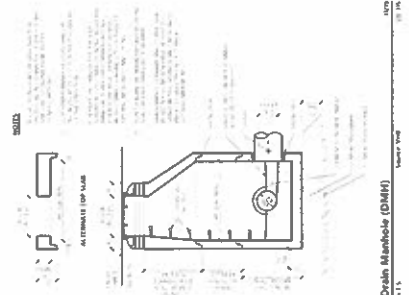
Catch Basin (CB) With Oil/Detritus Trap



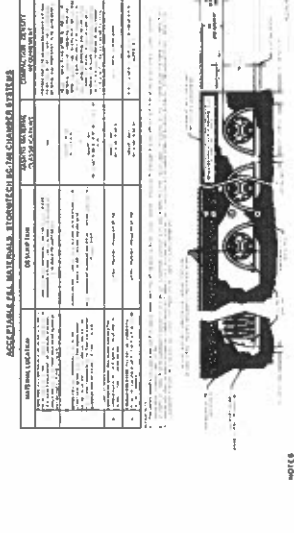
Vertical Granite Curb (VGC)



Utility Trench



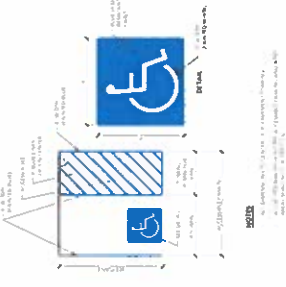
Drain Manhole (DMH)



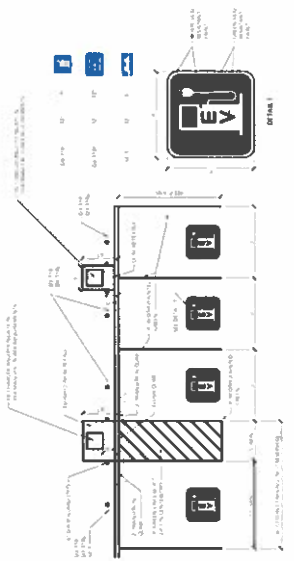
StormTech SC 740 Inlet Box Profile



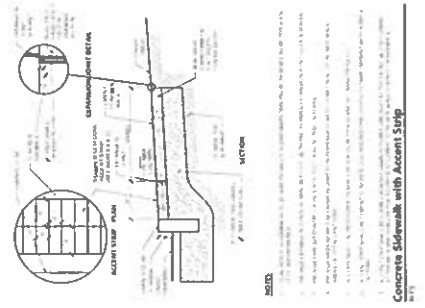
Painted Pavement Markings - On Site
Scale: 1/4" = 1'-0"



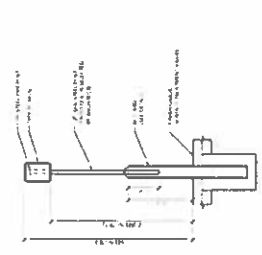
Accessible Parking Space
Scale: 1/4" = 1'-0"



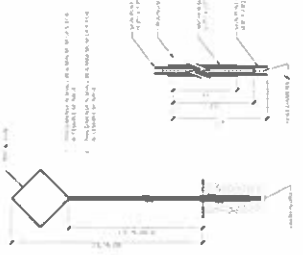
ELECTRIC VEHICLE CHARGING SPACES ADJACENT TO LANDSCAPE AREA
Scale: 1/4" = 1'-0"



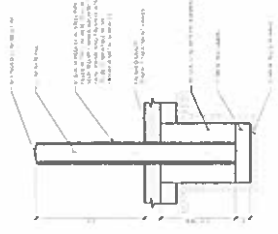
Concrete Sidewalk with Accent Strip
Scale: 1/4" = 1'-0"



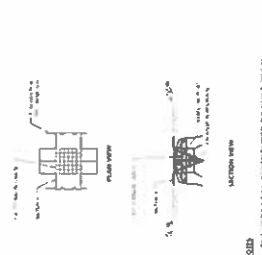
Bollard Mounted Sign
Scale: 1/4" = 1'-0"



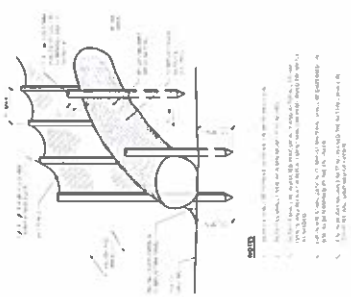
Sign Post - Type 'B'
Scale: 1/4" = 1'-0"



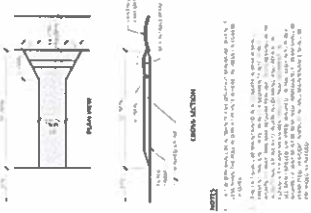
Bollard
Scale: 1/4" = 1'-0"



Siltlock Sediment Trap
Scale: 1/4" = 1'-0"



Siltlock / Silt Fence Barrier
Scale: 1/4" = 1'-0"



Stabilized Construction Eft
Scale: 1/4" = 1'-0"

Multifamily Development
10 Grosvenor Street
Worcester, MA

Local Approvals: July 11, 2024

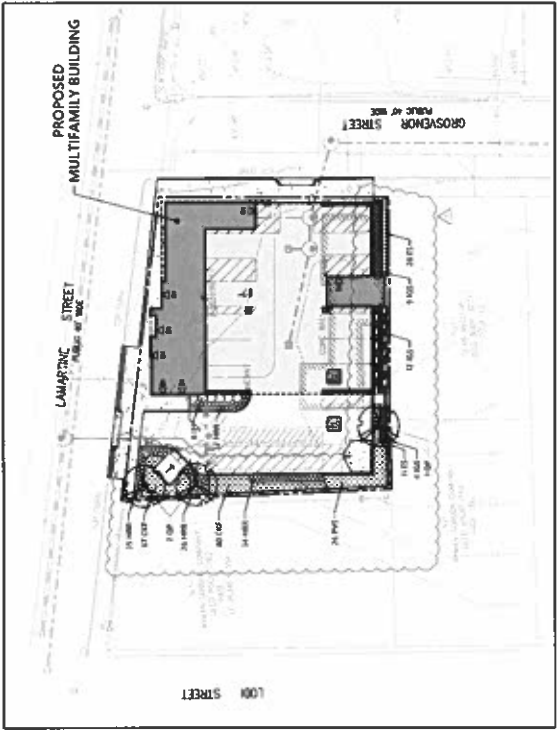
Not Approved for Construction

Site Details

C3.02

4 5

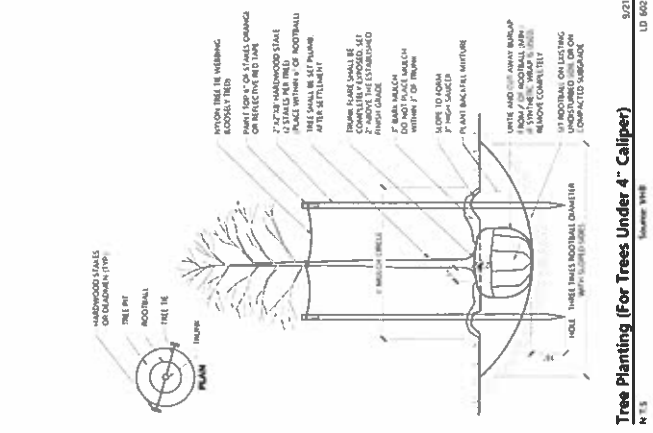
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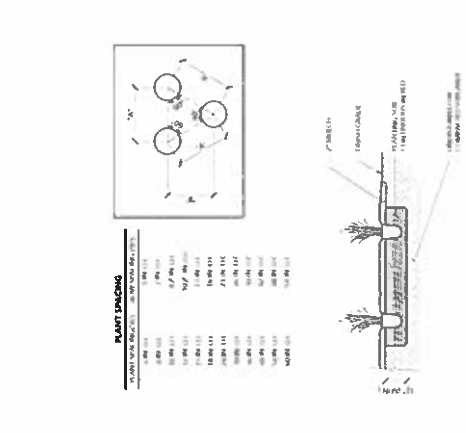
Planting Plan

SYMBOL	SCHEDULE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	DECIDUOUS TREES	1	Quercus prinus 'Pringle'	Green Oak 6 in. Oak	2' x 7' CAN
	SHRUBS	6	Red-twigged Dogwood	Red-twigged Dogwood	36" x 24" H&W
	PERENNIALS	1	Black-eyed Susan	Black-eyed Susan	18" x 18" H&W
	ORNAMENTAL GRASSES	1	Blue Fescue	Blue Fescue	41 POT

- Planting Notes**
1. ALL PROPOSED PLANTING LOCATIONS SHALL BE CHECKED AS SHOWN ON THE PLANS FOR HOLD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL BENCH MARKS AND ABOVE GROUND UTILITIES (LAND HOIST) PRIOR TO ANY PLANTING.
 3. NO PLANT MATERIALS SHALL BE DELIVERED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE INSTALLED AREA. CONTRACTOR SHALL NOTIFY OWNER REPRESENTATIVE OF ANY DELAYS.
 4. A SINGLE-DIGIT SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL AREAS WHERE PLANTING IS TO OCCUR. THE LOCATION OF ALL BENCH MARKS AND ABOVE GROUND UTILITIES (LAND HOIST) SHALL BE CHECKED PRIOR TO ANY PLANTING.
 5. ALL TREES SHALL BE BALLED AND BURLAPPED UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER REPRESENTATIVE.
 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GARDENING SHOWN ON THE PLANS. THE NUMBER OF PLANTS TO BE INSTALLED SHALL BE AS GARDENING SHOWN ON THE PLANS. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANS LIST AND PLANT LABELS PRIOR TO BEGINNING.
 7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER REPRESENTATIVE.
 8. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PLANTS AND MATERIALS FROM DAMAGE DURING CONSTRUCTION AND CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE PROTECTION OF ALL PLANTS AND MATERIALS.
 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PLANTS AND MATERIALS FROM DAMAGE DURING CONSTRUCTION AND CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE PROTECTION OF ALL PLANTS AND MATERIALS.
 10. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PLANTS AND MATERIALS FROM DAMAGE DURING CONSTRUCTION AND CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE PROTECTION OF ALL PLANTS AND MATERIALS.
 11. ALL DELIVERED MATERIALS OTHER THAN PLANTS AND CONTRACT DOCUMENTS SHALL BE LOANED AND RETURNED TO THE OWNER AS DIRECTED BY OWNER'S REPRESENTATIVE.
 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES ONLY. IT IS NOT A CONTRACT FOR ALL OTHER SITE CONSTRUCTION INFORMATION.
- Irrigation Note:**
1. CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR ALL PLANTING AREAS. THE SYSTEM SHALL BE DESIGNED BY THE LANDSCAPE ARCHITECT AND SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS FROM DAMAGE DURING CONSTRUCTION AND CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS.
 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE IRRIGATION SYSTEM. THE SYSTEM SHALL BE DESIGNED BY THE LANDSCAPE ARCHITECT AND SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS FROM DAMAGE DURING CONSTRUCTION AND CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS.
 3. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE IRRIGATION SYSTEM. THE SYSTEM SHALL BE DESIGNED BY THE LANDSCAPE ARCHITECT AND SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS FROM DAMAGE DURING CONSTRUCTION AND CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS.
 4. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE IRRIGATION SYSTEM. THE SYSTEM SHALL BE DESIGNED BY THE LANDSCAPE ARCHITECT AND SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS FROM DAMAGE DURING CONSTRUCTION AND CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS.
 5. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE IRRIGATION SYSTEM. THE SYSTEM SHALL BE DESIGNED BY THE LANDSCAPE ARCHITECT AND SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS FROM DAMAGE DURING CONSTRUCTION AND CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS.
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 7. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE IRRIGATION SYSTEM. THE SYSTEM SHALL BE DESIGNED BY THE LANDSCAPE ARCHITECT AND SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS FROM DAMAGE DURING CONSTRUCTION AND CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE PROTECTION OF ALL IRRIGATION SYSTEMS.



Tree Planting (For Trees Under 4" Caliper)



Shrub Bed Planting

Multifamily Development
 10 Grosvenor Street
 Worcester, MA

Local Approvals July 11, 2024

Not Approved for Construction

Planting Plan and Details

L1.01

\$ 5 \$

16406.00

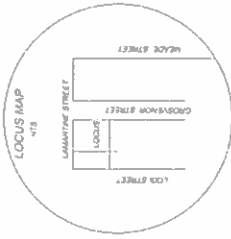
Perennial and Ornamental Grass Planting

Shrub Bed Planting

PLAN REFERENCES

- PLAN BOOK 474 PLAN 123
- PLAN BOOK 842 PLAN 40
- PLAN BOOK 842 PLAN 105
- LAND COURT PLAN 5555A

CITY OF WORCESTER PLANS
 LAMARTINE STREET (H-15 8741-1)
 MEADE STREET (H-4280)
 GROSVENOR STREET (H-8322)
 LOUI STREET



- NOTES**
- 1.) DATUM TAKEN FROM SMH ON UTILITY
 - 2.) CONSTRUCTION ON LOTS OR LAND IS SUBJECT TO ANY EASEMENTS, RIGHT OF WAYS, RESTRICTIONS OR LIMITATIONS ON RECORD
 - 3.) UTILITIES SHOWN ARE FROM FIELD LOCATIONS AND THE CONTRACTOR TO VERIFY THE SIZE, ELEVATION AND LOCATION, AND TO CONTACT "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION

OWNER OF RECORD
 38 LAMARTINE STREET LLC
 DEED BOOK 64121 PAGE 389
 10 GROSVENOR STREET
 DANIEL YARNE
 DEED BOOK 68833
 PAGE 270

AND CITY ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THE PROPERTY AND WORKS ON THIS PLAN ARE THE LAKE DIVISION LAND DIVISION WORKS, PROJECT OF PUBLIC OR PRIVATE STREET OR HIGHWAY, AS PUBLISHED AND TESTED AND APPROVED FOR DIVISION OF CITY ENGINEERING, 2/2/19

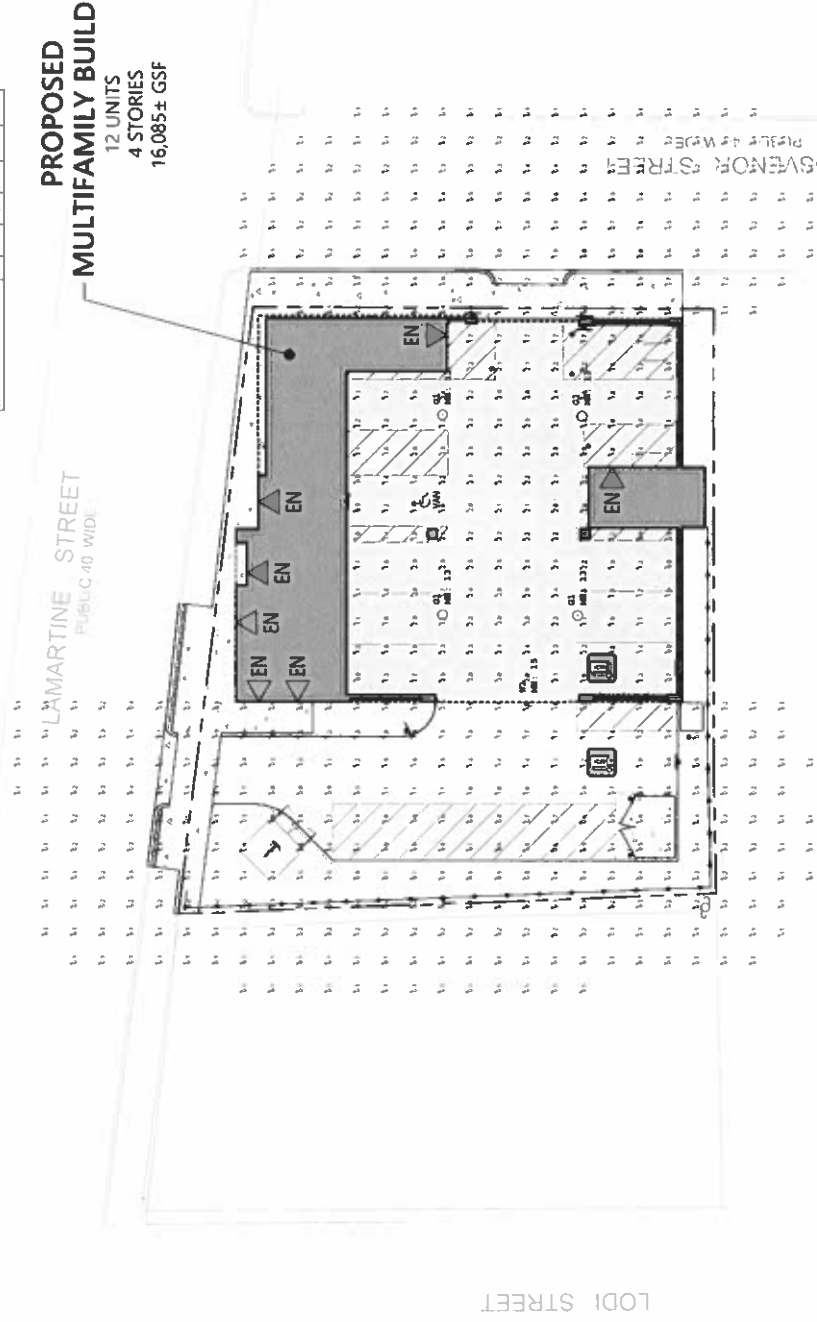


PLAN OF LAND
 38 LAMARTINE STREET
 10 GROSVENOR STREET
 WORCESTER, MASS.
 PREPARED FOR DANIEL YARNE
 FEBRUARY 2, 2019 SCALE 1" = 30'
GEO NETWORK LAND SURVEY, INC.
 645 CHANDLER STREET SUITE 100
 WORCESTER, MASSACHUSETTS 01610
 508-755-7083 FAX 508-755-4083

PROPERTY RECORDS		DEED RECORDS	
LOT	AREA (SQ. FT.)	DEED	DATE
1	12.4	1871	12-17-58
2	18.5	1872	12-17-58
3	18.1	1873	12-17-58

PROPERTY TAXES		ASSESSMENT	
Year	Amount	Year	Amount
2019	\$1,200	2020	\$1,200
2021	\$1,200	2022	\$1,200

**PROPOSED
MULTIFAMILY BUILDING**
12 UNITS
4 STORIES
16,085 ± GSF



LAMARTINE STREET
PUBLIC, 40' WIDE

LODI STREET

GROVERTON STREET

Project: 30 Groverton Street - 54c

Client: Steve Johnson
 Address: 4495 Sycamore St
 Phone: (603) 490-2446
 Email: johnst@illuminativedesign.com

Designer: Steve Johnson
 Date: 08/10/2024
 Revision: ...
 Scale: 1" = 10' 0"
 Drawing Number: L-1

illuminatedesign.com
 763 Hiram Street
 Burlington, MA 01803
 (781) 935-8500
 333 Picramnia Valley Road
 South Windsor, CT 06074
 (860) 287-0597

Sheet 1 of 1



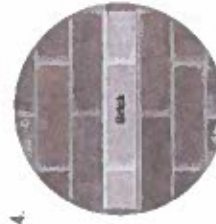
1. **Richford Architectural Panel**
Framing, White Box 825, VT



2. **Richford Architectural Panel**
Framing, Terracotta 6851, VT



3. **Fiber Cement Panel & Cladding**
AFC, Newport Canal, Hwy 1081



4. **Black**



10 GROSVENOR STREET

10 Grosvenor St.
Worcester, MA 01610

PERSPECTIVE

Shaping the Exceptional | 1000 Ayer Road | Suite 200 | Westford, MA 01581 | 978-429-2800

AUGUST 30, 2024

DATE:



1.

Interior Architectural Panel
Fundamex, Wine Red 0685, RT



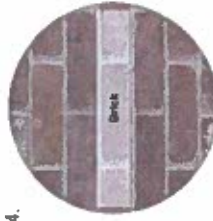
2.

Interior Architectural Panel
Fundamex, Terracotta 0681, RT



3.

Fiber Cement Panel & Cladding
AFC, Strassport Cement, Ivory 7061



4.

Brick



10 GROSVENOR STREET

10 Grosvenor St.
Worcester, MA 01610

PERSPECTIVE

AUGUST 30, 2024



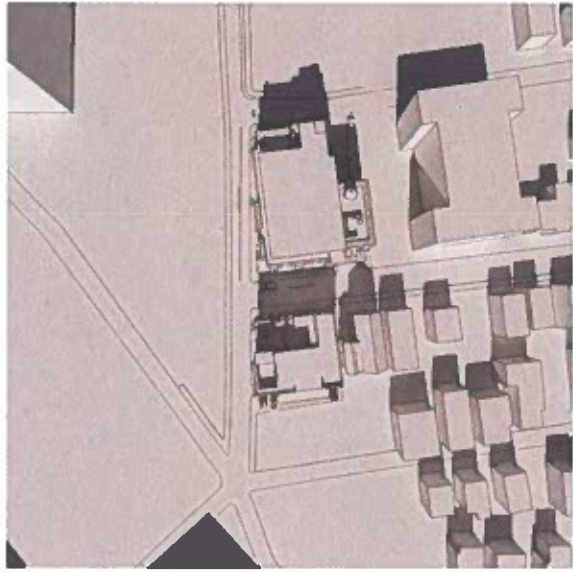
Shaping the Exceptional | 420 Apple Road | Suite 200 | Harvard, MA 01456 | www.maugeldestefano.com



JUNE - 9AM



JUNE - 12PM



JUNE - 4PM

10 GROSVENOR STREET

10 Grosvenor St.
Worcester, MA 01610

SUN STUDY

AUGUST 30, 2024

Shaping the Exceptional | 1000 Appleton Road | Worcester, MA 01609 | 508.853.8800



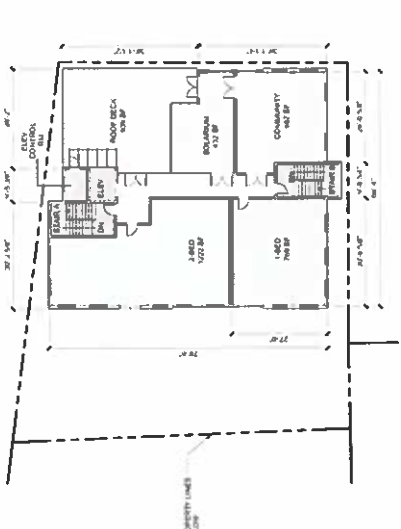
12



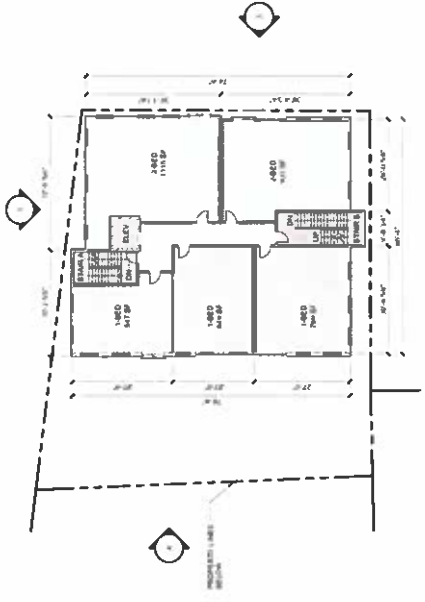
TOTAL TRUCK REPAIR/REWORK			TOTAL		
4-BED	0	0	4-BED	0	0
3-BED	0	0	3-BED	0	0
2-BED	0	0	2-BED	0	0
1-BED	0	0	1-BED	0	0
ADDITIONAL	0	0	ADDITIONAL	0	0
TOTAL	0	0	TOTAL	0	0

PARKING REPAIR/REWORK			TOTAL		
STANDARD	0	0	STANDARD	0	0
COMPACT	0	0	COMPACT	0	0
ACCESSIBLE	0	0	ACCESSIBLE	0	0
TOTAL	0	0	TOTAL	0	0

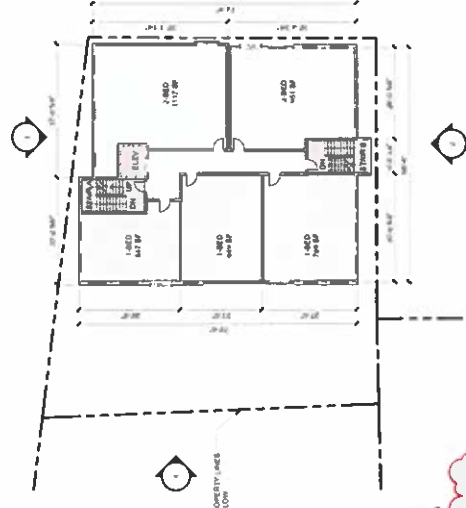
BICYCLE REPAIR/REWORK			TOTAL		
STANDARD	0	0	STANDARD	0	0
ACCESSIBLE	0	0	ACCESSIBLE	0	0
TOTAL	0	0	TOTAL	0	0



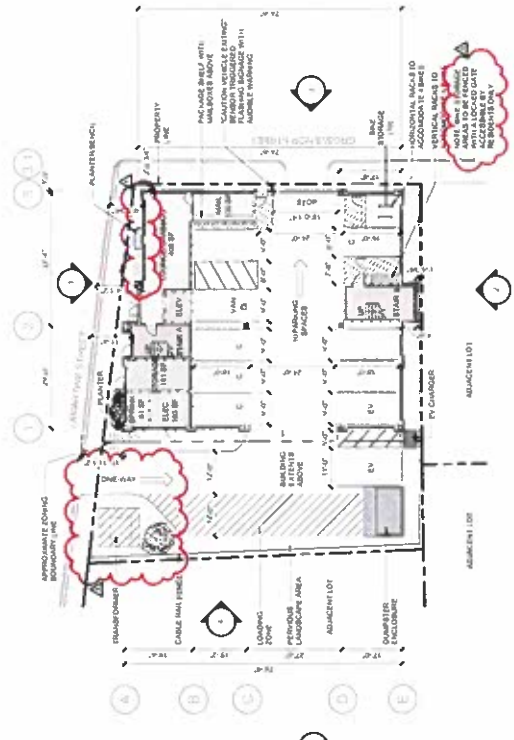
FOURTH FLOOR PLAN
SCALE 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



ROOF PLAN
SCALE 1/8" = 1'-0"

10 GROSVENOR STREET

FLOOR PLANS

AUGUST 30, 2024

10 Grosvenor St
Worcester, MA 01610

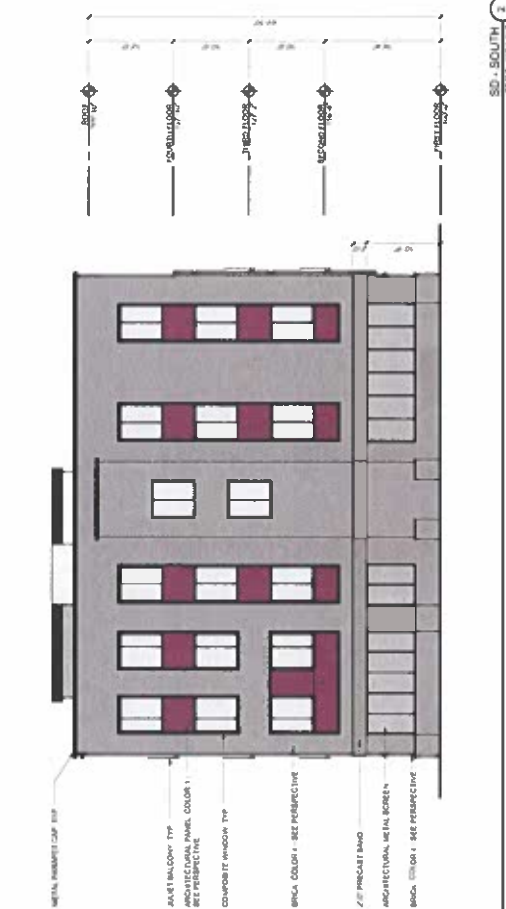
Shaping the Exceptional

MAUCCEL DESTEFANO ARCHITECTS





SD - WEST
SCALE: 1/8" = 1'-0"



SD - SOUTH
SCALE: 1/8" = 1'-0"



SD - EAST (GROSVENOR STREET)
SCALE: 1/8" = 1'-0"



SD - NORTH (LAMARTINE STREET)
SCALE: 1/8" = 1'-0"

10 GROSVENOR STREET

10 Grosvenor St
Worcester, MA 01610

ELEVATIONS

AUGUST 30, 2024

Shaping the Exceptional



MAUGEL
DESTEFANO
ARCHITECTS



OWNER:
POLAR VIEWS, LLC
REBECCA AND DANIEL YARNIE
410 BOSTON POST ROAD SUITE 28
SUDBURY, MA 01776

ATTORNEY:
BOWDITCH
311 MAIN STREET
WORCESTER, MA 01608

CIVIL ENGINEER:
VHB
120 FRONT STREET
SUITE 500
WORCESTER, MA

ARCHITECT:
MAUGEL DESTEFANO ARCHITECTS
200 AYER ROAD SUITE 200
HARVARD, MA 01451

10 GROSVENOR STREET

10 Grosvenor St.
Worcester, MA 01610

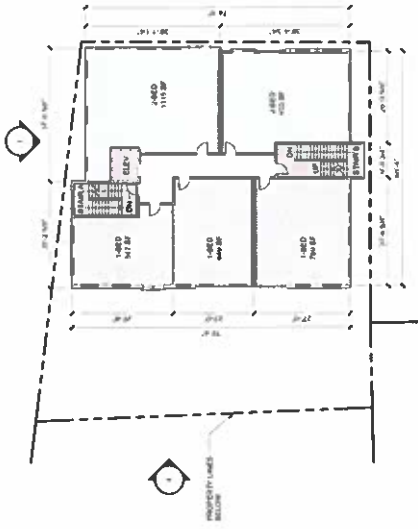
COVER SHEET

SEPTEMBER 20, 2024

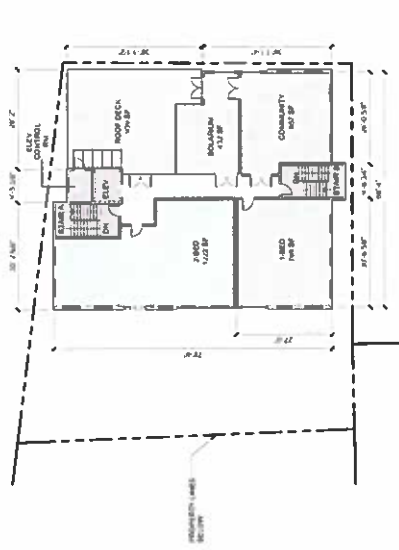
Shaping the Exceptional
200 Ayer Road, Suite 200, Harvard, MA 01451
MAUGEL DESTEFANO ARCHITECTS



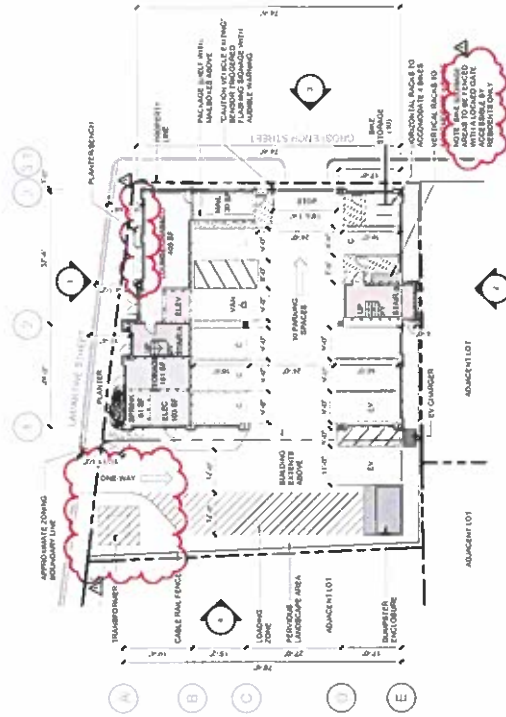
MULTIPLE RESIDENTIAL		STANDARD RESIDENTIAL		BICYCLE RESIDENTIAL	
1-BED	0	1	0	1	0
2-BED	0	1	0	1	0
3-BED	0	1	0	1	0
TOTAL	0	3	0	3	0
CLIP	100%	100%	100%	100%	100%



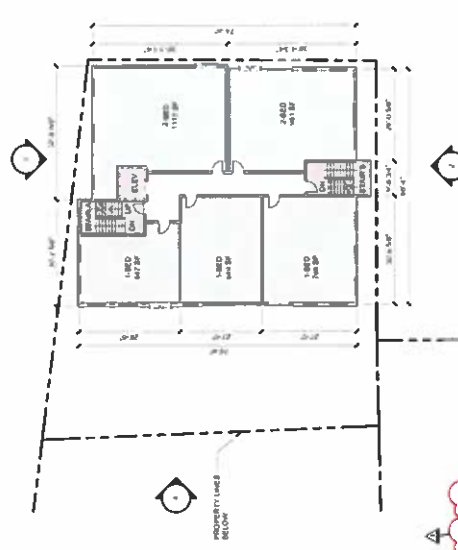
SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



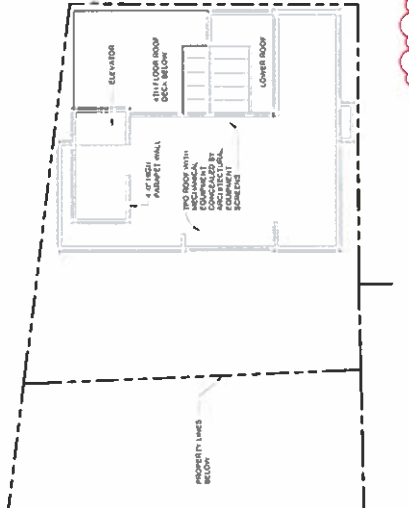
FOURTH FLOOR PLAN
SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"



ROOF PLAN
SCALE 1/8" = 1'-0"

10 GROSVENOR STREET

FLOOR PLANS

SEPTEMBER 20, 2024

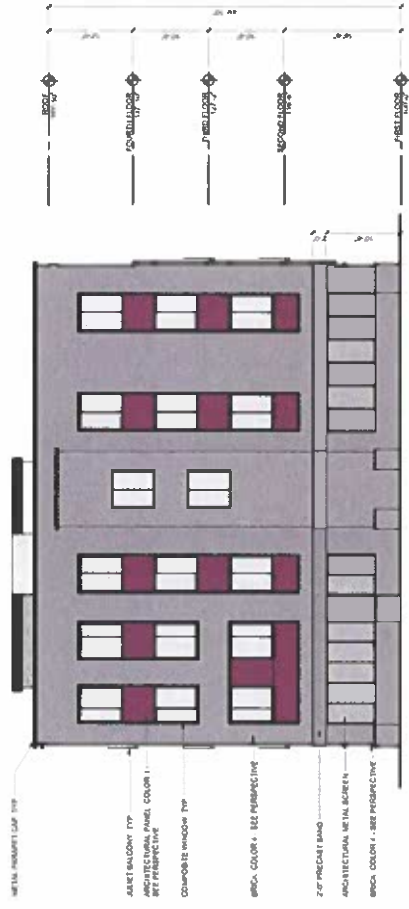
10 Grosvenor St.
Worcester, MA 01610

Shaping the Exceptional





SD - WEST
SCALE: 1/8" = 1'-0"



SD - SOUTH
SCALE: 1/8" = 1'-0"



SD - EAST GROSVENOR STREET
SCALE: 1/8" = 1'-0"



SD - NORTH (LAMARINE STREET)
SCALE: 1/8" = 1'-0"

10 GROSVENOR STREET

10 Grosvenor St
Worcester, MA 01610

ELEVATIONS

SEPTEMBER 20, 2024

Shaping the Exceptional





10 GROSVENOR STREET

10 Grosvenor St.
Worcester, MA 01610

A **PERSPECTIVE**

SEPTEMBER 20, 2024



10 GROSVENOR STREET

10 Grosvenor St.
Worcester, MA 01610

A
PERSPECTIVE

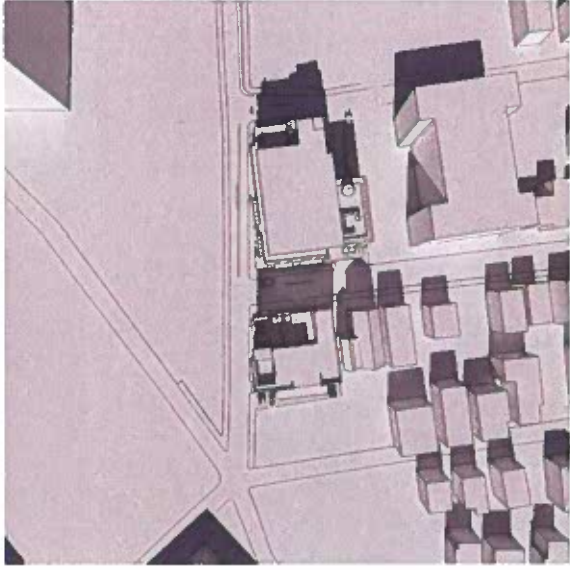
SEPTEMBER 20, 2024



JUNE - 9AM



JUNE - 12PM



JUNE - 4PM

10 GROSVENOR STREET

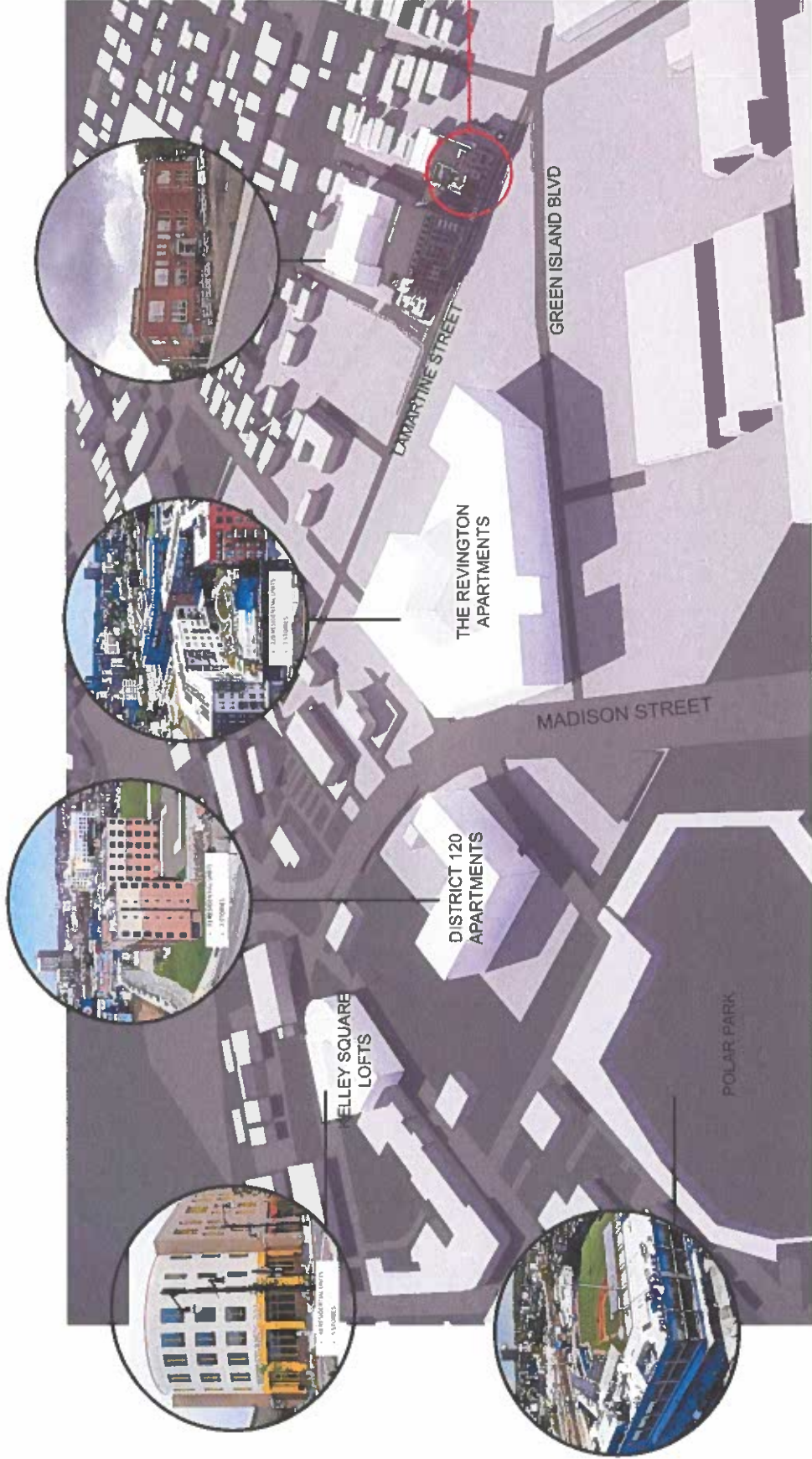
10 Grosvenor St
Worcester, MA 01610

SUN STUDY

Shaping the Exceptional www.maugeldestefano.com

SEPTEMBER 20, 2024





10 GROSVENOR ST.
 110' x 100' (Total Area: 11,000 sq. ft.)
 110' x 100' (Total Area: 11,000 sq. ft.)

10 GROSVENOR STREET

10 Grosvenor St.
 Worcester, MA 01610

SITE CONTEXT

Shaping the Exceptional | 200 Ayer Road | Suite 200 | Worcester, MA 01605 | 508.853.7000

SEPTEMBER 20, 2024

Edward M. Augustus, Jr.
CITY MANAGER



Timothy J. McGourthy
CHIEF FINANCIAL OFFICER

Samuel E. Konieczny
CITY ASSESSOR

CITY OF WORCESTER
ADMINISTRATION & FINANCE

Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 39

Parcel Address: 10 GROSVENOR ST

Assessor's Map-Block-Lot(s): 05-014-0046A

Owner: YARNIE, DANIEL
10 GROSVENOR ST
WORCESTER, MA 01610-2703

Owner Mailing: _____

Petitioner (if other than owner): STEPHANIE FLEMING
Petitioner Mailing Address: 311 MAIN ST
WORCESTER, MA 01608
508/926-3346

Planning: X Zoning: X Liquor License: _____ ConComm: _____

Historical: _____ Cannabis: _____ Other: _____

WYMAN GORDON COMPANY	05-014-00027	0080 HERMON STREET	WORCESTER, MA 01610
BERMEJO,LUZ A TRUSTEE	05-014-00029	0017 THORNDYKE RD	WORCESTER, MA 01606
TRAN,QUOC + HUYNH,PHO	05-014-00031	0657 GRAFTON ST	SHREWSBURY, MA 01545
BISHOP,ELVERTON S JR	05-014-00013	0031 GROSVENOR ST	WORCESTER, MA 01610-2702
CALLE,PATRICIO	05-014-00023	0030 GROSVENOR ST	WORCESTER, MA 01610
YARNIE,DANIEL	05-014-0046A	0010 GROSVENOR ST	WORCESTER, MA 01610
WORCESTER BEDWORKS INC	05-011-00012	183-16 JAMAICA AVE	HOLLIS, NY 11423
WYMAN GORDON COMPANY	05-013-36-41	0080 HERMON STREET	WORCESTER, MA 01610
JOHANSON,KEVIN R	05-014-00028	0721 BURNCOAT ST	WORCESTER, MA 01606
MADISON WG HOLDINGS LLC	05-009-00019	0667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
WOOGOLD LLC	05-011-00005	0107 AUDUBIN RD 2-301	WAKEFIELD, MA 01880
WERCZYNSKI,EVA(LIFE ESTATE)	05-013-00034	0016 LANGOON ST	WORCESTER, MA 01608
CAPSTONE BUILDERS INC	05-013-00042	0069 PARK AVE	WORCESTER, MA 01605
CITY OF WORCESTER HEALTH AND CODE	05-014-00001	20 IRVING ST	WORCESTER, MA 01609
POLAR VIEWS LLC	05-014-00008	0089 WEST MAIN ST UNIT 101	NOTHBOROUGH, MA 01532
MCCLURE,SEAN P	05-014-00019	15 HAWLEY ST	WORCESTER, MA 01609
CITY OF WORCESTER + CITY MANAGER	05-013-21+22	0455 MAIN ST ROOM 203	WORCESTER, MA 01608

CITY OF WORCESTER HEALTH AND CODE	05-014-0008A	0013 MEADE ST	WORCESTER, MA 01610
8-10 LANGDON STREET LLC	05-013-00032	0565 SHREWSBURY ST	HOLDEN, MA 01520
PHAM,DON	05-014-00020	40 VISTA CIRCLE	HOLDEN, MA 01520
CANAL DISTRICT PARKING LLC	05-013-00130	0001 KELLEY SQ	WORCESTER, MA 01610
CLAY,DAVID M	05-013-00053	0021 LODI ST	WORCESTER, MA 01608
TAYLOR,LESLIE L + JOYCE J	05-014-00021	0020 GROSVENOR ST	WORCESTER, MA 01610-2703
KATERJI,JHAD + SAADALLAH	05-013-00035	0018 MYRIAH RD	SHREWSBURY, MA 01545
DESOUSA,ROMAN	05-013-00055	1231 EDGELL RD	FRAMINGHAM, MA 01701
GAVAL,SHOHREH E + MANSOUR	05-014-00030	0091 STAFFORD ST SUITE 3	WORCESTER, MA 01603-1453
RAPGYAL,TENZING	05-014-00022	0868 DEPOT RD	BOXBOROUGH, MA 01719
NGUYEN,JOHNNY C	05-013-00033	0014 LANGDON ST	WORCESTER, MA 01608
36 GROSVENOR LLC	05-014-00041	0003 LOWELL ST	WALTHAM, MA 02453
AMADO,LYSANDER	05-014-00033	0012 LODI ST	WORCESTER, MA 01608
PARAFINOWICZ,WALDEMAR + KATARZYNA	05-013-00043	0246 MILLBURY ST	AUBURN, MA 01501
VISCETO,WILLIAM M DOLORES A	05-014-00014	0037 GROSVENOR ST	WORCESTER, MA 01610-2702
JACKSON,SCOTT +	05-013-00049	0013 LODI STREET	WORCETER, MA 01608
MADISON WASHINGTON HOLDINGS LLC	05-010-0001B	667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
MADISON WASHINGTON HOLDINGS LLC	05-010-0001F	667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
MADISON WASHINGTON HOLDINGS LLC	05-010-0001G	667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
MADISON WASHINGTON HOLDINGS LLC	05-010-0001E	667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
WYMAN GORDON CO	05-010-0000B	0080 HERMON STREET	WORCESTER, MA 01610
WYMAN GORDON COMPANY	05-014-00026	0080 HERMON STREET	WORCESTER, MA 01610

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 05-014-0046A as cited above.

Certified by:



 Signature

06/27/2024
 Date

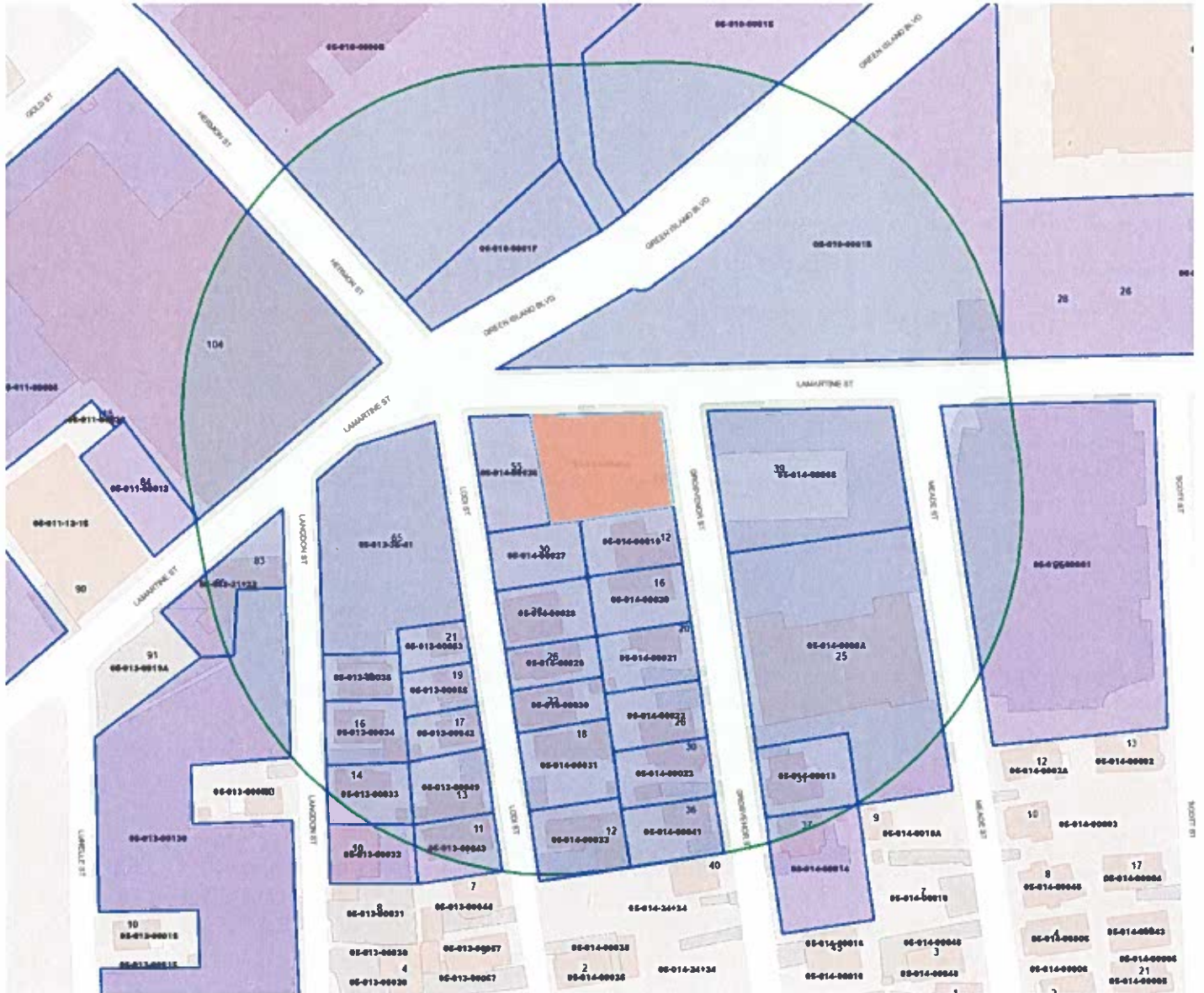
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CHIEF FINANCIAL OFFICER
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CITY ASSESSOR

CITY OF WORCESTER
ADMINISTRATION & FINANCE

Abutters Map



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WORCESTER, MA 01610

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05-014-00029
0017 THORNDYKE RD
WORCESTER, MA 01606

TRAN,QUOC + HUYNH,PHO
05-014-00031
0657 GRAFTON ST
SHREWSBURY, MA 01545

BISHOP,ELVERTON S JR
05-014-00013
C/O SANDRA BISHOP
0031 GROSVENOR ST
WORCESTER, MA 01610-2702

CALLE,PATRICIO
05-014-00023
0030 GROSVENOR ST
WORCESTER, MA 01610

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WORCESTER, MA 01609

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NOTHBOROUGH, MA 01532

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CITY OF WORCESTER + CITY M...
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AUBURN, MA 01501

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BOSTON, MA 02116

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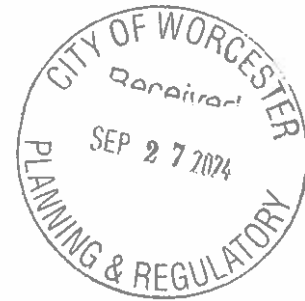
WYMAN GORDON COMPANY
05-014-00026
0080 HERMON STREET
WORCESTER, MA 01610

Joshua Lee Smith
Direct telephone: 508-926-3464
Direct facsimile: 508-929-3064
Email: jsmith@bowditch.com

August 1, 2024

BY HAND DELIVERY AND E-MAIL – planning@worcesterma.gov

Division of Planning & Regulatory Services
City Hall Room 404
455 Main Street
Worcester, MA 01608
Attn: Michelle M. Smith, Assistant Chief Development Officer



Re: *Polar Views LLC – Application for Site Plan Review Approval and Inclusionary Zoning Special Permits for Multifamily Eligible Development Project at 10 Grosvenor Street, Worcester, Massachusetts*

Dear Ms. Smith:

This firm represents Polar Views LLC in its application to the City of Worcester Planning Board (the “Board”) for site plan review approval and special permits for inclusionary zoning incentives, as more particularly described herein, in connection with the razing and removal of an existing building, and the construction and development of a 4-story approximately 19,052 square foot multifamily Eligible Development building (the “New Building”) with 12 units, 2 of which will be affordable rate units (i.e., 1 unit at 80% AMI, 1 unit at 60% AMI), and will contain 10 parking spaces and other related site improvements (the “Project”). The Project also includes the construction and/or installation of related site improvements at the Property, including, but not limited to, new sidewalks and walkways, curb cuts, landscaped open spaces and amenity areas (e.g., grab & go lounge, community room, solarium and roof deck), electric vehicle (EV) charging stations, interior bicycle storage areas and other site features. The New Building will be located entirely within the RG-5 zoning district.

We hereby submit the following items for filing with the Board:

1. Site Plan Review and IZ Special Permit Applications with Statement in Support;
2. Zoning determination form;
3. Plan set;
4. Renderings, floor plans and elevations;
5. Stormwater Memorandum;
6. Traffic impact statement (to be provided); and
7. Certified List of Abutters.

We will coordinate with staff to facilitate the submission of the addressed envelopes, the filing fees payable to the City of Worcester and necessary copies of the above items.

Kindly file this Application with the City Clerk, and schedule this Application to be presented and discussed at the Board's next available meeting, which is scheduled to occur on **September 4, 2024**. Please let me know if you have any questions concerning the enclosed.

Thank you for your assistance with this matter.

Very truly yours,

A handwritten signature in black ink, appearing to read "Joshua Lee Smith". The signature is fluid and cursive, with a large initial "J" and "L".

Joshua Lee Smith

JLS

Enclosures

cc: Project team